



June 21, 2022

Addendum #1

FOR IMMEDIATE ATTENTION

TO: **ALL BIDDERS**

RE: **IFB #030-0-2022GS – Warwick Health Services Academy – Renovations**

The above referenced IFB is hereby amended and clarified as follows:

1. On the Invitation to Bid #030-0-2022GS document, please replace I. SCOPE OF WORK, B. SPECIFIC REQUIREMENTS, with **1. Contractor shall perform renovations for the new Warwick Health Sciences Academy in accordance with the G+P Project No. 21710.25, Project Manual dated and Drawings dated June 8, 2022 and any revisions thereto.**
2. This Addendum includes changes and clarifications to the Drawings and Specifications.
3. This Addendum includes the answers to requests for information and questions.
4. This Addendum includes the revised **ATTACHMENT A – BID RESPONSE FORM FOR IFB #030-0-2022GS.**
5. All other provisions of the IFB shall remain unchanged. This provision shall become part of the IFB package, and Bidder shall acknowledge receipt of the Addendum by signing in the space provided below and returning it with the Bid.

Signature: _____
(Bidder)

Sincerely,

Glenn Schofield, C.P.M.
Director of Procurement



June 20, 2022

PROJECT NAME: HEALTH SCIENCES ACADEMY

ADDENDUM NO. # 1

PROJECT # 21710.25

TO THE CONTRACT DRAWINGS AND SPECIFICATIONS FOR THE REFERENCED PROJECT, DATED MAY 2, 2022, AS PREPARED BY GRIMM & PARKER ARCHITECTS, 8609 WESTWOOD CENTER DRIVE, SUITE 425, TYSONS, VA 21812.

This Addendum includes changes and clarifications to the Contract Documents. The information includes the following:

SPECIFICATION ITEMS:

ITEM NO. 1 SECTION 01 23 00 – ADDITIVE BIDS

CLARIFY Additive Bid Item #3 to reflect the exact doors to be modified or replaced.
ADDED Language to reflect painting requirements for existing doors and frames.

ITEM NO. 2 SECTION 07 95 13 - EXPANSION JOINT COVER ASSEMBLIES

ADD Section 07 95 13 – Quality Requirements in its entirety.

DRAWING ITEMS:

ARCHITECTURAL

ITEM NO. A1 SHEET A1.2 – FINISH & DOOR SCHEDULE

Revise sheet A3.1 per attached reissued sheet:

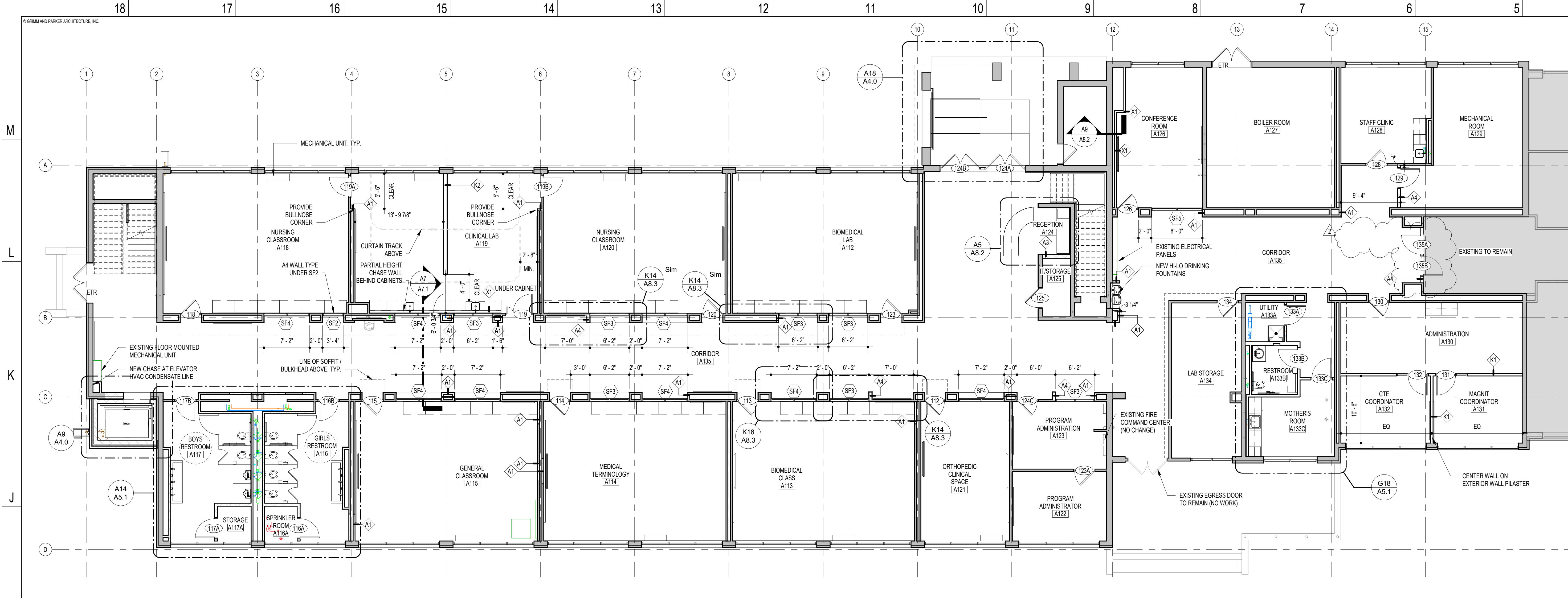
REVISED REMOVED “SEE ALTERNATE #2” FROM DOORS A134/A135 AS THESE DOORS ARE
EXISTING TO REMAIN.

ITEM NO. A2 SHEET A3.1 – FINISH & DOOR SCHEDULE

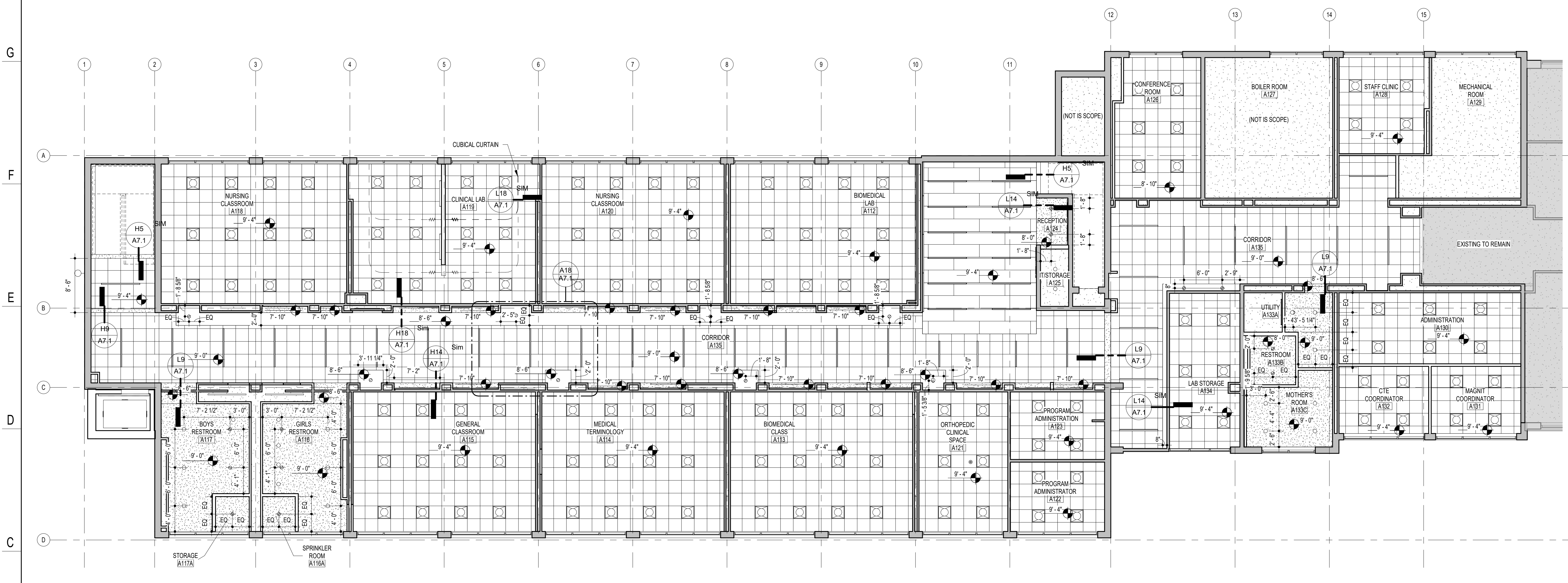
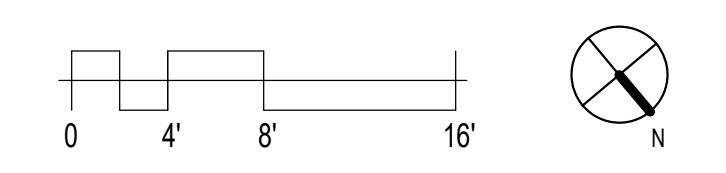
Revise sheet A3.1 per attached reissued sheet:

REVISED DOOR SCHEDULE.

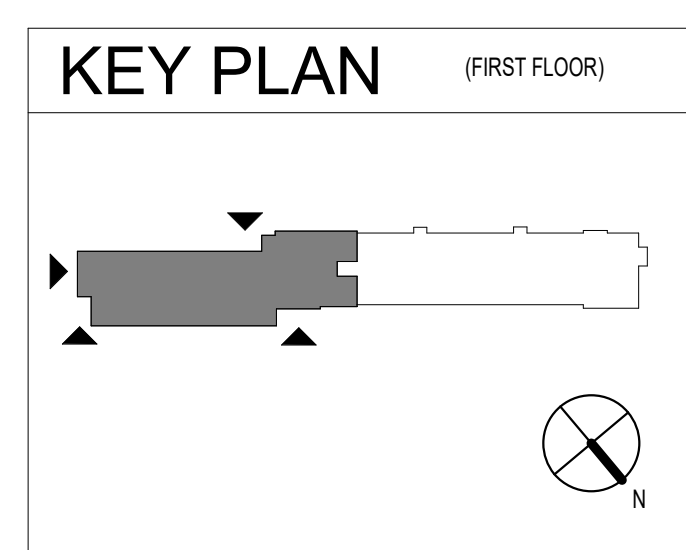
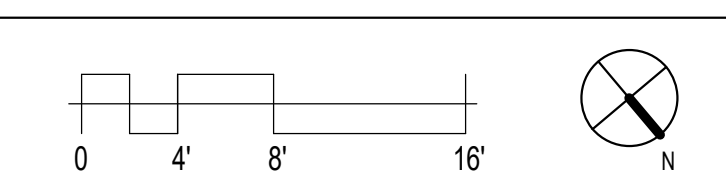
REVISED DOOR NOTES.



G18 FIRST FLOOR - PARTIAL FLOOR PLAN
1/8" = 1'-0"



B18 FIRST FLOOR - PARTIAL REFLECTED CEILING PLAN
1/8" = 1'-0"



GENERAL NOTES

- GENERAL NOTE APPLICABLE TO ALL DRAWINGS - ITEMS AND CONDITIONS DETAILED, NOTED OR OTHERWISE IDENTIFIED ON ONE OF THE SECTIONS OR DETAILS ARE APPLICABLE AND BINDING TO ALL OTHER SECTIONS AND DETAILS FOR IDENTICAL OR SIMILAR CONDITIONS.
- ALL CONSTRUCTION AND WORK REPRESENTED IN THE COMPLETE SET OF DOCUMENTS IS ASSUMED TO BE NEW AND FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
 - IF A CONFLICT EXISTS BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT AND MORE COSTLY REQUIREMENT TO APPLY. ITEMS SHOWN ON THE DRAWINGS, BUT NOT SPECIFIED, TO APPLY AND BE PROVIDED BY THE CONTRACTOR. IF AN ITEM IS SHOWN ON THE DRAWINGS, BUT IS NOT INCLUDED IN THE SPECIFICATIONS, PROVIDE ITEM OF A QUALITY LEVEL CONSISTENT WITH THE GENERAL QUALITY LEVEL OF THE CONTRACT REQUIREMENTS. REPORT CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - IF A CONFLICT EXISTS BETWEEN DRAWINGS OF DIFFERENT SCALES, CONSULT THE ARCHITECT FOR CLARIFICATION. IN THE ABSENCE OF A WRITTEN DIMENSION, OR IN CASE OF DOUBT AS TO THE PROPER MEASUREMENT, CONSULT THE ARCHITECT FOR CLARIFICATION.
 - IF AN AREA OR SPACE IS SHOWN, BUT IS NOT CLEARLY DEFINED OR INDICATED BY NOTES, PROVIDE THE SAME MATERIALS AND FINISHES AS SCHEDULED OR SPECIFIED FOR AREAS OF SIMILAR USE ELSEWHERE IN THE BUILDING.
 - SECTIONS INDICATED ARE INTENDED TO SHOW THE SPECIFIC CONSTRUCTION WHERE REFERENCED AS WELL AS ESTABLISH THE GENERAL CONSTRUCTION DETAILS FOR SECTIONS THROUGHOUT THE PROJECT WHICH DO NOT HAVE SPECIFIC SECTIONS DRAWN. THE MOST SIMILAR SECTIONS TO BE ADAPTED TO ANY SECTIONS NOT DETAILED. ANY SPECIFIC QUESTIONS CONCERNING CONSTRUCTION NOT ADEQUATELY COVERED BY THE ABOVE SHOULD BE DIRECTED TO THE ARCHITECT DURING THE BIDDING.
 - TYPICAL DETAILS THROUGHOUT THE DRAWING SET TO APPLY FOR ALL APPLICABLE CONDITIONS EVEN IF NOT SPECIFICALLY SHOWN OR REFERENCED.
 - SEE STRUCTURAL DRAWINGS FOR ACTUAL STRUCTURAL STEEL AND BEARING ELEVATIONS.
 - AT ALL OUTSIDE CORNERS OF INTERIOR CMU WALLS, COLUMN ENCLOSURES, PIPE CHASES OR OTHER WALL PROJECTIONS, PROVIDE MASONRY UNITS WITH BULLNOSE (ROUNDED) EDGES WITH 1" RADII, UNLESS OTHERWISE NOTED OR WHERE SCHEDULED TO RECEIVE CERAMIC TILE. WHERE MASONRY CORNERS ALIGN WITH BULLNOSE, TRANSITION FROM BULLNOSE CORNER UNITS TO SQUARE CORNER UNITS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE, ENCLOSE ALL VERTICAL MECHANICAL PIPES, RAIN LEADERS, ETC. WITH 4" CMU OR GYPSUM BOARD TO MATCH SURROUNDING FINISHES.
 - REFER TO PLANS AND ELEVATIONS FOR LOCATIONS OF CONTROL JOINTS (C.J.) AND EXPANSION JOINTS (E.J.) IN EXTERIOR MASONRY WALLS. IF A CONFLICT EXISTS BETWEEN JOINT LOCATIONS SHOWN ON THE ELEVATIONS AND PLANS, CONSULT THE ARCHITECT FOR CLARIFICATION. REFER TO CONSTRUCTION REFLECT TO FLOOR PLANS FOR LOCATIONS OF CONTROL JOINTS (C.J.) IN INTERIOR MASONRY WALLS.
 - REFER TO BUILDING ELEVATIONS AND ELEVATION DETAILS FOR MASONRY PATTERNS.
 - INCLUDE PROJECTIONS, BEAM ENCLOSURES, RECESSES AND SIMILAR ENCLOSURES AS PART OF WALL AND CEILING FINISHES AS SCHEDULED.
 - ALL APURTENANCES BUILT INTO OR THROUGH WALLS, INCLUDING DOORS, DUCTS, WINDOWS, LOUVERS, GRILLES, MECHANICAL WORK, ETC. SHALL BE THOROUGHLY SEALED AROUND PERIMETERS. WORK AT EXTERIOR WALLS TO BE FLASHED OR OTHERWISE WATERPROOF SEALED.
 - FIELD CHECK ROUGH AND/OR FINISHED DIMENSIONS FOR ACCURATE FITTINGS OF CABINETS, COUNTERS, LOCKERS, DOORS, WINDOWS, FRAMES, SHELVEING, GATES AND OTHER STRUCTURAL NOTES FOR UNL. REQUIREMENTS. FABRICATION, PROVIDE FILLER STRIPS, SCRIBE STRIPS, BASES, CLOSURE FINISHES AND TRIM FOR A COMPLETE INSTALLATION.
 - PROVIDE APPROPRIATE TRANSITION STRIPS AT CHANGES IN FLOOR ELEVATIONS.
 - EACH CONTRACTOR MUST REFER TO ALL DRAWINGS AND BE RESPONSIBLE FOR WORK PERTAINING TO THEIR PARTICULAR TRADE. ALL CONTRACTORS MUST COORDINATE THE WORK OF ALL TRADES AND FIELD CHECK AGAINST ANY CONFLICTS BETWEEN DRAWINGS. REPORT CONFLICTS TO THE ARCHITECT FOR CLARIFICATION.
 - ACCESS PANELS, LOUVER OPENINGS, VENTILATORS, GRILLES, VALVE CABINETS, FIRE DAMPERS OR OTHER APURTENANCES AFFECTING WALLS, CEILINGS OR FLOORS ARE SHOWN THROUGHOUT THE DRAWINGS. PROVIDE NECESSARY UNITS, SUPPORT AND ANCHORAGE. SEE STRUCTURAL NOTES FOR UNL. REQUIREMENTS.
 - REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS OF CONCRETE PADS TO BE PROVIDED BELOW OR AROUND EQUIPMENT.
 - INSTALL ELECTRIC SWITCHES, OUTLETS, THERMOSTATS, CONTROLS, CLOCKS, SPEAKERS, FLAGPOLE HOLDERS AND OTHER WALL-MOUNTED ACCESSORIES IN LOCATIONS WHICH ARE UNOBSTRUCTED BY CABINETS, COUNTERS, RACKS, DISPLAY BORDS, FIXTURES, SHELVEING OR OTHER FURNISHINGS OR EQUIPMENT DESIGNATED FOR SPACES SHOWN ON DRAWINGS. THESE ITEMS SHALL BE SHOWN ON THE ARCHITECTURAL DRAWINGS TO ALERT OTHER SUB-CONTRACTORS OF THEIR PRESENCE. COORDINATE INSTALLATION WITH THE ELECTRICAL DRAWINGS. ADVISE THE ARCHITECT OF CONFLICTS IN LOCATION OR TYPES OF DEVICES SHOWN PRIOR TO INSTALLATION. DO NOT INSTALL WALL-MOUNTED ITEMS ON, THROUGH OR INTO ANY EQUIPMENT UNLESS INDICATED.
 - MOUNT ELECTRIC SWITCHES, THERMOSTATS AND OTHER ELECTRONIC CONTROLS LOCATED IN THE SAME VICINITY AT THE SAME HEIGHT ABOVE FINISHED FLOOR IN A UNIFORM, ORDERLY FASHION UNLESS NOTED OTHERWISE.
 - FOR THE PURPOSES OF BIDDING UNLESS OTHERWISE NOTED, ALL SYMBOLS (LABELLED / TAGGED OR UNLABELLED/UNTAGGED) WHICH ARE LOCATED ON THE FURNISHING/EQUIPMENT PLANS TO BE CONSIDERED AS IN CONTRACT WORK TO BE PROVIDED BY THE CONTRACTOR. ALL SYMBOLS LOCATED ON THE PLANS DENOTE EITHER FURNITURE, EQUIPMENT, CASEWORK OR MILLWORK, WHERE A SYMBOL IS LOCATED ON THE PLANS BUT IS NOT LABELLED OR TAGGED TO A SCHEDULE, THE CONTRACTOR MUST SEEK CLARIFICATION FROM THE OWNER OR ARCHITECT BEFORE PROCEEDING. FOR PURPOSES OF BIDDING ONLY, IF CLARIFICATION CANNOT BE OBTAINED FROM THE OWNER OR ARCHITECT THROUGH ADDENDUM PRIOR TO THE BID DATE, THE CONTRACTOR MUST NEVERTHELESS INCLUDE THE ITEM IN QUESTION IN THE BID, CONSIDERING IT THE SAME AS THE TAGGED SYMBOL, MOST NEARLY RESEMBLING THE UNTAGGED SYMBOL, BASED ON ITS SHAPE, SIZE, UNWEIGHTS, LOCATION, AND SCHEDULED USAGE IN SPACES OF SIMILAR FUNCTION. THE CONTRACTOR MUST OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH SHOP DRAWINGS.

GENERAL PLAN NOTES

- REFER TO SHEET A13.3 FOR WALL TYPES AS REFERENCED ON PLANS WITH THE DIAMOND SYMBOL.
- TYPICAL CMU INTERIOR PARTITION TO BE TYPE A1 UNLESS INDICATED OTHERWISE BY WALL TYPE SYMBOLS, WALL SECTIONS OR OTHER DETAILS.
- TYPICAL GYPSUM BOARD STUD WALL PARTITION TO BE TYPE K1 UNLESS INDICATED OTHERWISE BY WALL TYPE SYMBOLS, WALL SECTIONS OR OTHER DETAILS.
- TYPICAL CMU CHASE WALLS TO BE TYPE A1 UNLESS INDICATED OTHERWISE BY WALL TYPE SYMBOLS, WALL SECTIONS OR OTHER DETAILS.
- TYPICAL GYPSUM BOARD CHASE WALLS TO BE TYPE X1 UNLESS INDICATED OTHERWISE BY WALL TYPE SYMBOLS, WALL SECTIONS OR OTHER DETAILS.
- UNLESS NOTED OTHERWISE, WALLS MUST EXTEND TO THE ROOF OR FLOOR DECK ABOVE AND BE SEALED IN ACCORDANCE WITH THE WALL TERMINATION DETAILS. REFER TO THE CODE STUDY PLAN FOR IDENTIFICATION OF ALL SMOKE AND FIRE WALL CONDITIONS. FERRIMETS, CORRIDOR AND LOBBY WALLS MUST BE BUILT TO RESIST THE PASSAGE OF SMOKE.
- DIMENSIONS ON PLANS ARE FROM FACE OF MASONRY TO FACE OF MASONRY; FACE OF MASONRY TO FACE OF GYPSUM BOARD OR FACE OF GYPSUM BOARD TO FACE OF GYPSUM BOARD.
- COLUMN GRID LINES ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR COLUMN LOCATIONS.
- FEC - INDICATES A FIRE EXTINGUISHER WITH A RECESSED CABINET. FE - INDICATES A FIRE EXTINGUISHER WITH A WALL MOUNTING BRACKET.
- UNLESS SPECIFICALLY INDICATED OTHERWISE, THE SAME WALL TYPE NEXT TO A DOOR OR OPENING TO CONTINUE OVER THE DOOR OR OPENING.
- PLAN LOCATION OF DOORS AND FRAMES RELATIVE TO THE PLANE OF THE WALL IS DIAGRAMMATIC ONLY. REFER TO THE REFERENCED JAMB AND HEAD CONDITION DETAILS TO DETERMINE ACTUAL PLACEMENT OF DOOR AND FRAME.
- ALL CORRIDOR WALLS TO RECEIVE 6X6 CERAMIC TILE TO MATCH EXISTING.
- ALL INFILL WALL SHALL MATCH ADJACENT SURFACE (MATERIAL, TEXTURE, FINISH).

RCP NOTES

- GENERAL NOTE APPLICABLE TO ALL DRAWINGS - ITEMS AND CONDITIONS DETAILED, NOTED OR OTHERWISE IDENTIFIED ON ONE OF THE SECTIONS OR DETAILS ARE APPLICABLE AND BINDING TO ALL OTHER SECTIONS AND DETAILS FOR IDENTICAL OR SIMILAR CONDITIONS.
- TYPICAL CEILING HEIGHT TO BE 9'-4" UNLESS OTHERWISE INDICATED ON REFLECTED CEILING PLANS. TOILETS AND STORAGE ROOMS TO BE 8'-0" U.O.A.
 - REFER TO ELECTRICAL DRAWINGS FOR LIGHT PATTERN AND EXIT LIGHT LOCATIONS. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO SHOP DRAWINGS.
 - ALL WALLS SHOWN EXTEND TO THE STRUCTURAL EXTERIOR DECK (SEE WALL TYPES); CORRIDOR CHASE WALLS TO EXTEND 4" MINIMUM ABOVE THE CEILING.
 - REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON CEILING PLAN, GRILLES, SPEAKERS, SPRINKLERS, HEAT & SMOKE DETECTORS, TO BE CENTERED IN TILES UNLESS NOTED OTHERWISE.
 - ALL BULKHEAD DIMENSIONS ARE FROM FINISH FACE OF WALL OR BULKHEAD TO FINISH FACE OF BULKHEAD.
 - PROVIDE 1/2" REVEALS BETWEEN DISSIMILAR MATERIALS ON THE SAME PLANE AT THE CEILING.
 - IN AREAS OF EXPOSED CEILING, PAINT EXPOSED STRUCTURE, UNDERSIDE OF DECK, SPRINKLER PIPING, CONDUIT AND ALL MISCELLANEOUS OVERHEAD ITEMS. COLORS TO BE SELECTED BY ARCHITECT.
 - ALL RECESSED CAN LIGHTS SHALL BE CENTERED ON CLASSROOM DOORS AND WITHIN THE BULKHEAD.
 - PROVIDE LED STRIP LIGHT AT BULKHEAD AGAINST WALL. SEE ENLARGED DETAIL.

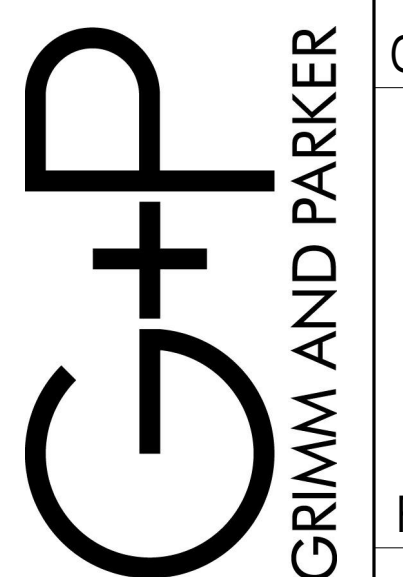
RCP LEGEND

- | | | | |
|--|--|--|--|
| | GYPSUM BOARD CEILING | | 2X8 CEILING SYSTEM. SEE FINISH SCHEDULE. |
| | 2X2 CEILING SYSTEM. SEE FINISH SCHEDULE. | | RECESSED DOWNLIGHT - SEE ELEC |
| | 1X4 LIGHT FIXTURE - SEE ELEC | | SUPPLY DIFFUSER, REGISTER, OR GRILL - SEE MECH |
| | 1X4 RECESSED LIGHT FIXTURE - SEE ELEC | | RETURN DIFFUSER, REGISTER, OR GRILL - SEE MECH |
| | 2X4 RECESSED LIGHT FIXTURE - SEE ELEC | | PENDANT LIGHT - SEE ELEC |

WALL LEGEND

- | | |
|--|---------------|
| | NEW WALL |
| | EXISTING WALL |

8609 Westwood Center Dr.
Suite 425
Tysons, VA 22182
Tel: 703.903.9100
www.grimmandparker.com



GP #21710

FIRST FLOOR & REFLECTED CEILING PLANS
WARWICK HEALTH SCIENCES ACADEMY
1241 GATEWOOD RD., NEWPORT NEWS, VA 23601

DATE	DESCRIPTION
6/21/22	Addendum #1

A1.2
6/8/2022
Permit Rev.1

TYPICAL FINISHES

SPACES NOT LISTED ON THE SCHEDULE TO HAVE THE TYPICAL FINISHES LISTED BELOW. FLOORS: VCT, BASE: PTD, CEILING: APC1

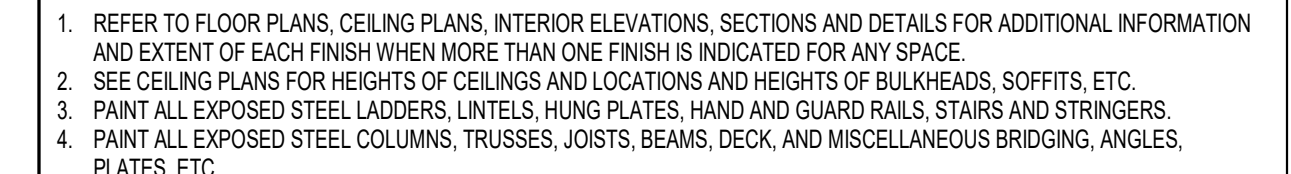
FINISH MATERIALS

Table with 2 columns: FLOORS and BASES. Lists materials like Ceramic Tile, Porcelain Tile, Resinous Flooring, etc.

CEILING

Table with 2 columns: CEILING and WALLS. Lists materials like Acoustic Panel, Ceramic Tile, etc.

WALL KEY



TYPICAL NOTES

- 1. REFER TO FLOOR PLANS, CEILING PLANS, INTERIOR ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION... 2. SEE CEILING PLANS FOR HEIGHTS OF CEILINGS AND LOCATIONS AND HEIGHTS OF BULKHEADS, SOFFITS, ETC.

NUMBERED REMARKS

- 1. EXPOSED CONSTRUCTION (STRUCTURE, ROOF DECK, MECHANICAL EQUIPMENT, AND DUCTS) WILL EACH BE PAINTED SEPARATE COLORS. 2. EXPOSED CONSTRUCTION PAINTED FLAT BLACK.

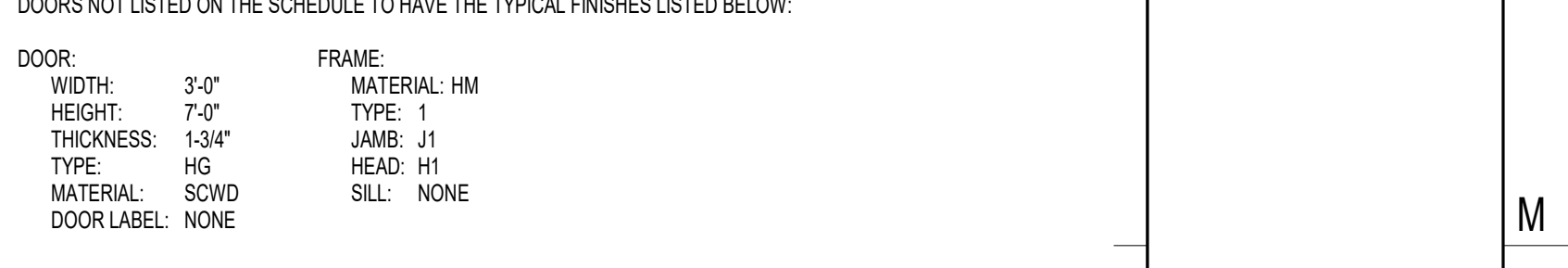
FINISH SCHEDULE

Table with columns: RM. NO., NAME, FLOOR, BASE, WALLS (A, B, C, D), CLG. MATL., REMARKS. Lists room finishes for various rooms like Program Administrator, Biomedical Lab, etc.

DOOR SCHEDULE

Table with columns: DOOR NO., WIDTH, HEIGHT, THK., TYPE, MATL., TYPE, FRAME SECTIONS (JAMB, HEAD, SILL), DOOR LABEL FIRE RATING, HARDWARE SET, REMARKS. Lists door specifications for various rooms.

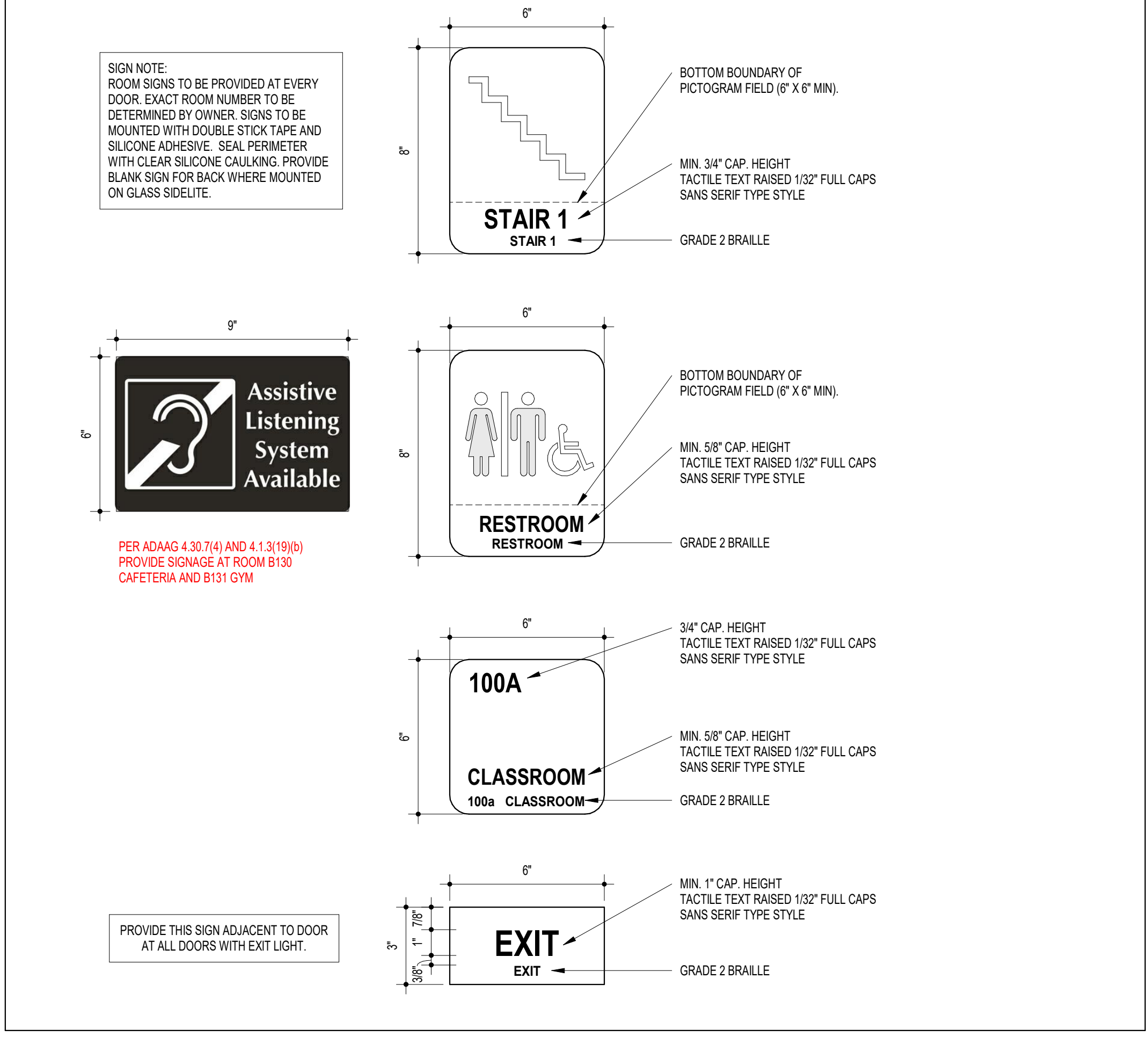
TYPICAL DETAILS



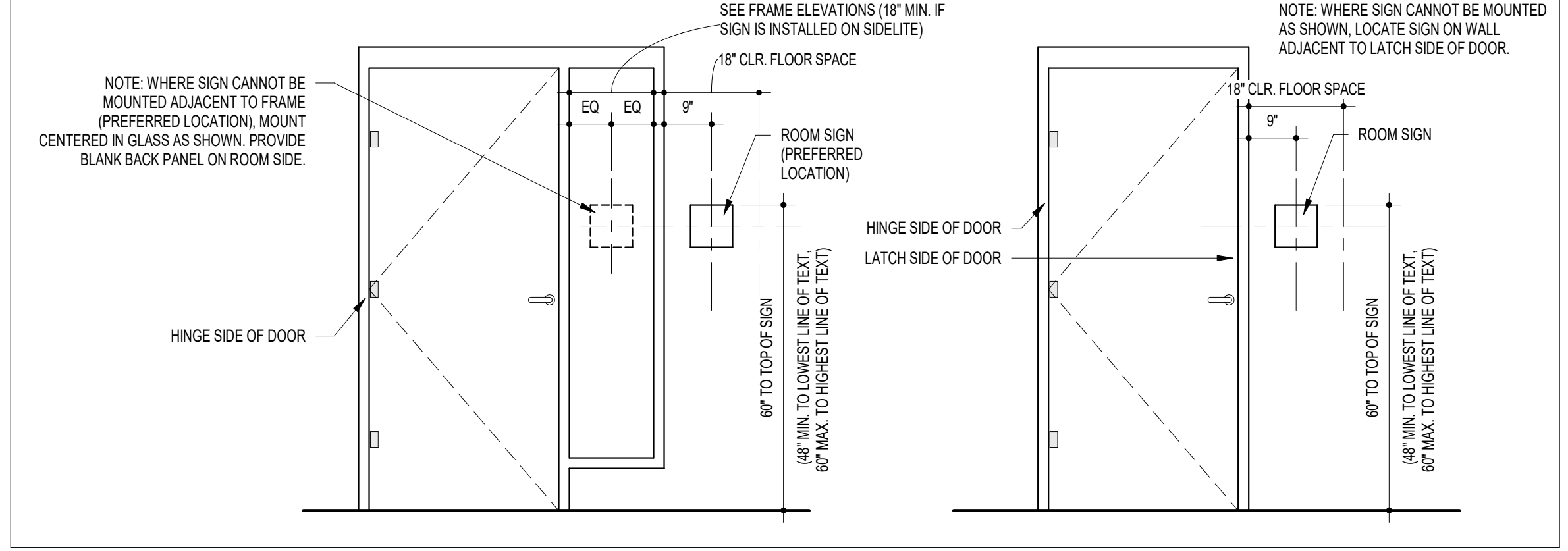
TYPICAL DOOR NOTES

- 1. COORDINATE AND PROVIDE HARDWARE AS DETAILED IN THE SPECIFICATIONS OR, IF NOT SPECIFIED, PROVIDE HARDWARE OF EQUAL QUALITY TO THAT SPECIFIED... 2. PROVIDE BRUSHED STAINLESS STEEL KICK PLATES ON PUSH SIDE OF DOORS WITH PUSH BARS OR CLOSER DEVICES.

ROOM SIGNAGE ELEVATION



ROOM SIGNAGE LOCATION



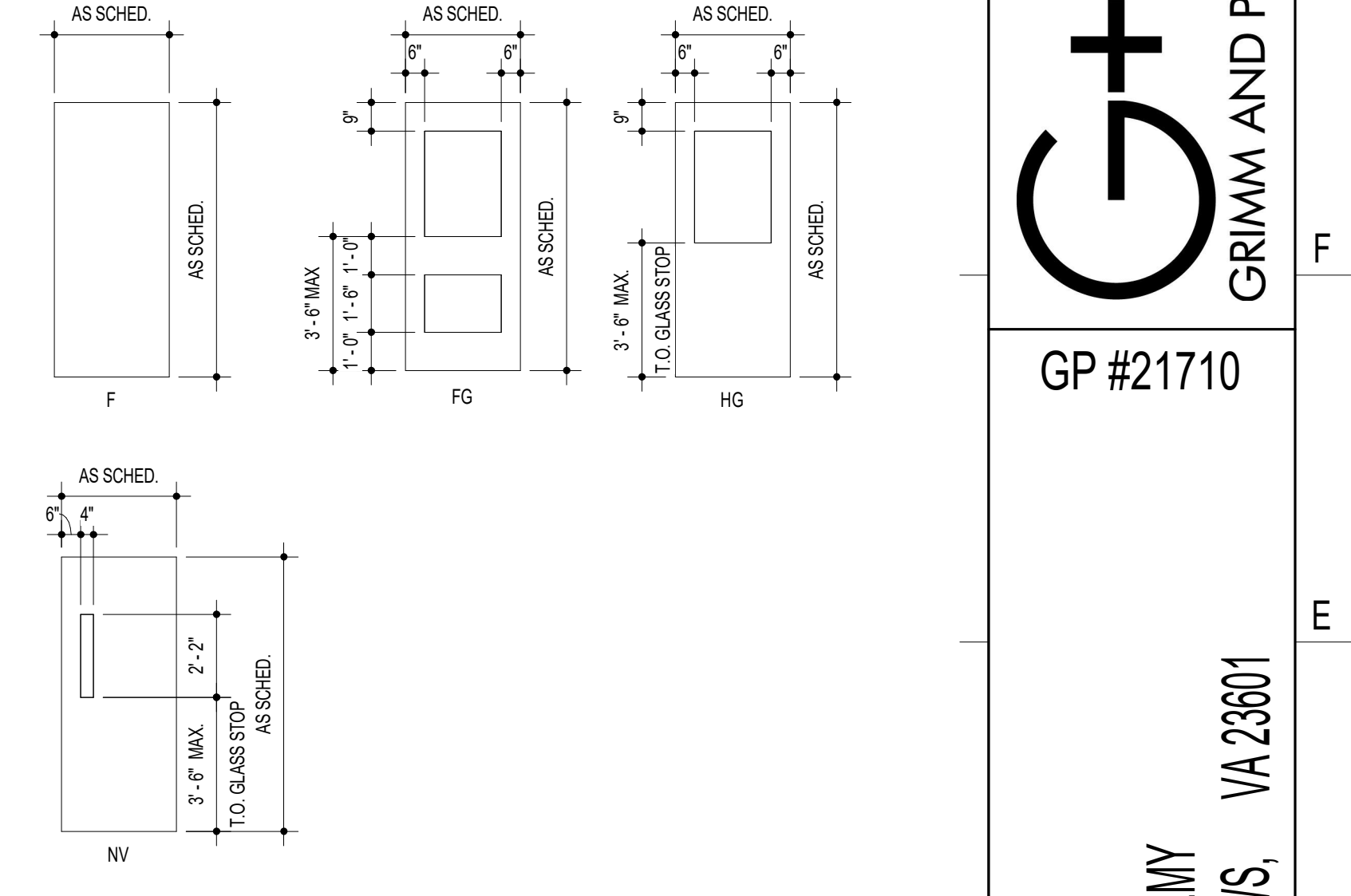
DOOR HARDWARE

Table listing door hardware sets (Set #12, Set #81, Set #13, Set #26, Set #01 - EXTERIOR ADDED PAIR, Set #02 - CORRIDOR DOORS, Set #03 - RESTROOMS) with part numbers and descriptions.

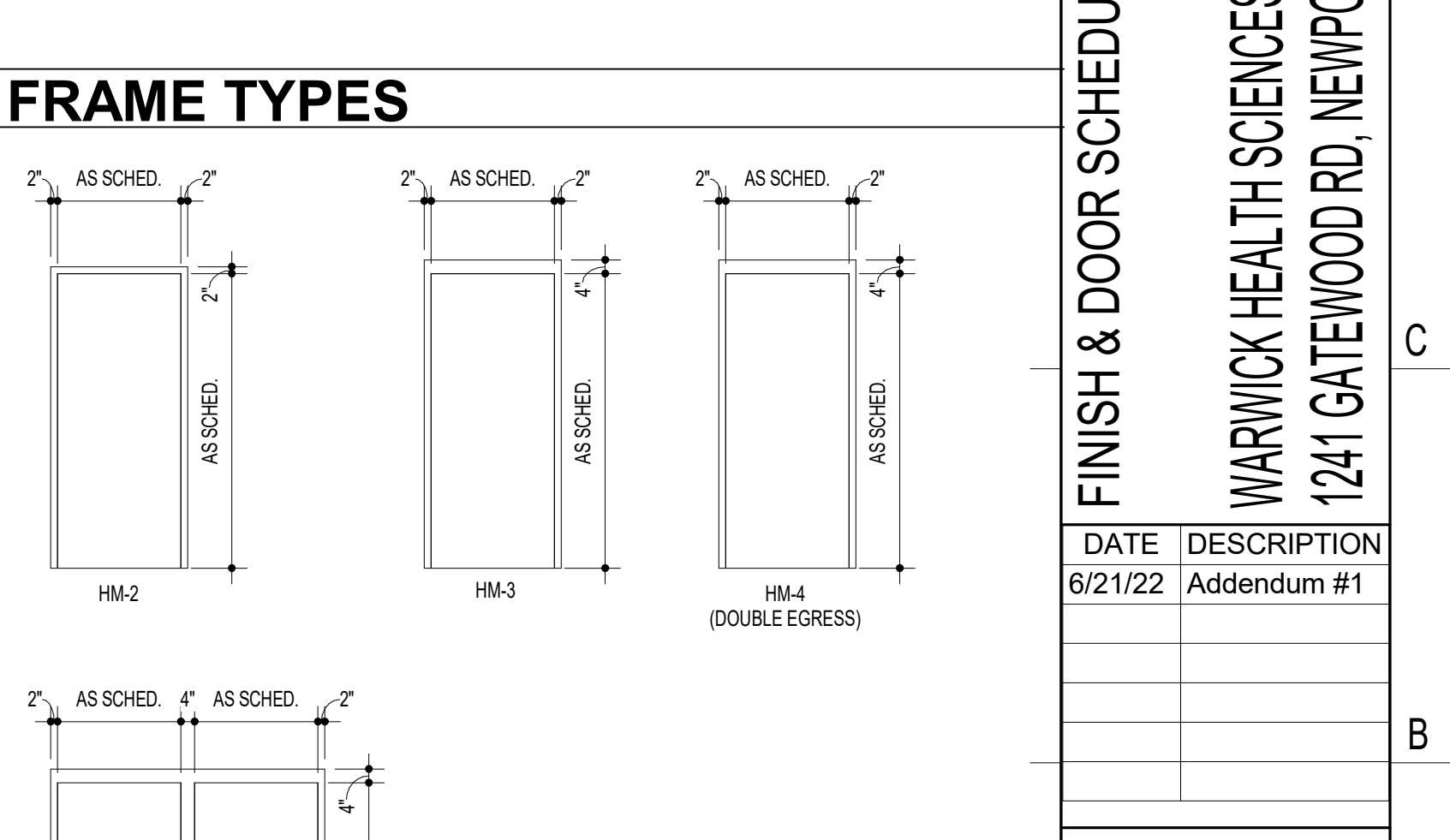
NOTES FOR REMARKS COLUMN

- NOTE: NOT ALL NOTES MAY BE USED ON THIS PROJECT. SEE SPECIFICATIONS FOR ADDITIONAL DOOR INFORMATION. REFERENCE SPECIFICATIONS FOR DETAILED HARDWARE REQUIREMENTS. 1. PROVIDE ADA COMPLIANT CLOSER (ONE CLOSER FOR EACH DOOR OF PAIR).

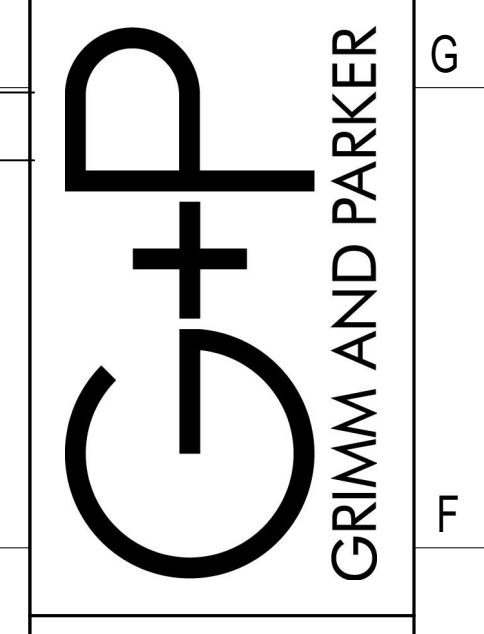
DOOR TYPES



FRAME TYPES



8609 Westwood Center Dr. Suite 425 Tysons, VA 22182 Tel: 703.903.9100 www.grimmandparker.com



GP #21710

FINISH & DOOR SCHEDULE WARWICK HEALTH SCIENCES ACADEMY 1241 GATEWOOD RD., NEWPORT NEWS, VA 23601

Table with columns: DATE, DESCRIPTION. Row: 6/21/22, Addendum #1

A3.1

6/8/2022 Permit Rev.1

SECTION 01 23 00 - ADDITIVE BIDS

PART 1 - GENERAL

1.1 SUMMARY

- A. Administrative and procedural requirements for Additive Bids.

1.2 DEFINITIONS

- A. Additive Bid: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. The cost or credit for each additive bid is the net addition to or deduction from the Contract Sum to incorporate additive bid into the Work. No other adjustments are made to the Contract Sum.
 - 2. Include as part of each additive bid, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate. Include costs of related coordination, modification, or adjustment.

1.3 ACCEPTANCE OF ADDITIVE BIDS

- A. Additive Bids quoted on Bid Forms will be reviewed and accepted or rejected at Owner's option. Accepted Additive Bids will be identified in the Owner-Contractor Agreement.
- B. Coordinate related work and modify surrounding work to integrate the Work of each Additive Bid.

1.4 SCHEDULE OF ADDITIVE BIDS

- A. Additive Bid No. 1: Ceiling Demolition
 - 1. Base Bid: Include demolition of all elements related to ceiling as indicated on the drawings.
 - 2. Additive Bid: Do not include demolition of elements related to ceiling indicated on the drawings.
- B. Additive Bid No. 2: Interior Openings.
 - 1. Base Bid: Where indicated as aluminum storefront for new interior openings, provide aluminum storefront as specified in Section 08 41 13 – Aluminum-Framed Entrances and Storefronts.
 - 2. Additive Bid: In lieu of aluminum storefront for new interior openings specified in Section 08 41 13 – Aluminum-Framed Entrances and Storefronts, provide hollow metal frames specified in Section 08 11 13 – Hollow Metal Doors and Frames.
- C. Additive Bid No. 3: Existing **Classroom** Doors.
 - 1. Base Bid: Replace existing **classroom** doors, hardware, and glass as indicated on the drawings and in the specifications.
 - 2. Additive Bid: Retain existing **classroom** doors and hardware and replace all glass with new undivided tempered half glass, **remove existing paint and repaint door and frame.**

PART 2 - PRODUCTS - NOT USED

PART 3 - EXECUTION - NOT USED

END OF SECTION 01 23 00

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SECTION 07 95 13

EXPANSION JOINT COVER ASSEMBLIES

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Expansion joint cover assemblies for floor, wall, and ceiling surfaces.

1.2 REFERENCE STANDARDS

- A. ASTM B221 - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes; 2014.
- B. ASTM B221M - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes (Metric); 2013.
- C. ASTM B308/B308M - Standard Specification for Aluminum-Alloy 6061-T6 Standard Structural Profiles; 2010.

1.3 SUBMITTALS

- A. Product Data: Provide joint assembly profiles, profile dimensions, anchorage devices and available colors and finish.
- B. Product Schedule: Prepared by or under the supervision of the supplier. Include the following information in tabular form:
 - 1. Manufacturer and model number for each expansion control system.
 - 2. Expansion control system location cross-referenced to Drawings.
 - 3. Nominal joint width.
 - 4. Movement capability.
 - 5. Classification as thermal or seismic.
 - 6. Materials, colors, and finishes.
 - 7. Product options.
 - 8. Fire-resistance ratings.
- C. Product Test Reports: For each fire barrier provided as part of an expansion control system, for tests performed by a qualified testing agency.
- D. Shop Drawings: Indicate joint and splice locations, miters, layout of the work, effected adjacent construction and anchorage locations.
- E. Samples: Submit two samples minimum 12 inch long, illustrating profile, dimension, color, and finish selected.
- F. Manufacturer's Installation Instructions: Indicate rough-in sizes and required tolerances for item placement.

PART 2 PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Fire-Resistance Ratings: Where indicated, provide expansion control systems with fire barriers identical to those of systems tested for fire resistance per UL 2079 or ASTM E 1966 by a testing and inspecting agency acceptable to authorities having jurisdiction.
 - 1. Hose Stream Test: Wall-to-wall and wall-to-ceiling systems shall be subjected to hose stream testing.

- B. Seismic Performance: Expansion control systems shall withstand the effects of earthquake motions determined according to ASCE/SEI 7.
 - 1. The term "withstand" means "the system will remain in place without separation of any parts when subjected to the seismic forces specified and the system will be fully operational after the seismic event."
 - 2. Component Importance Factor is 1.5.
- C. Source Limitations: Obtain expansion control systems from single source from single manufacturer.

2.2 MANUFACTURERS

- A. Architectural Art Mfg. Company.
 - 1. Floor-to-Floor Joint Systems (Except at Doorways and Concealed Chase Locations): A Series, serrated type.
 - 2. Floor-to-Floor Joint Systems at Doorways: K Series.
 - 3. Floor-to-Floor Joint Systems at Concealed Chase Locations: P30-11-02 with bar retainers.
 - 4. Floor-to-Wall Joint Systems: A Series, serrated type.
 - 5. Wall-to-Wall Joint Systems: G Series, snap on type.
 - 6. Wall-to-Ceiling Joint Systems: C Series.
 - 7. Ceiling-to-Ceiling Joint Systems: C Series.
- B. Balco, Inc.
 - 1. Floor-to-Floor Joint Systems (Except at Doorways and Concealed Chase Locations): 6000 Series, serrated type.
 - 2. Floor-to-Floor Joint Systems at Doorways: RPA Series, serrated type.
 - 3. Floor-to-Floor Joint Systems at Concealed Chase Locations: FR Precompressed Foam 2FRBCDF-SL.
 - 4. Floor-to-Wall Joint Systems: 6000 Series, serrated type.
 - 5. Wall-to-Wall Joint Systems: WD/WDC Series.
 - 6. Wall-to-Ceiling Joint Systems: 7500 Series.
 - 7. Ceiling-to-Ceiling Joint Systems: 7500 Series.
- C. Construction Specialties, Inc: www.c-sgroup.com.
 - 1. Floor-to-Floor Joint Systems (Except at Doorways and Concealed Chase Locations): ALS Series.
 - 2. Floor-to-Floor Joint Systems at Doorways: RFA Series
 - 3. Floor-to-Floor Joint Systems at Concealed Chase Locations: Model Series HFR.
 - 4. Floor-to-Wall Joint Systems: ALSW Series.
 - 5. Wall-to-Wall Joint Systems: ASM Series.
 - 6. Wall-to-Ceiling Joint Systems: Thinline Series; Type FCFC.
 - 7. Ceiling-to-Ceiling Joint Systems: Thinline Series; Type FCF.
- D. MM Systems Corp.:
 - 1. Floor-to-Floor Joint Systems (Except at Doorways and Concealed Chase Locations): Classic Cover Systems; Type HFX.
 - 2. Floor-to-Floor Joint Systems at Doorways: HFP Series

3. Floor-to-Floor Joint Systems at Concealed Chase Locations: Classic Cover Systems; Type HFX with Pyro-Flex.
4. Floor-to-Wall Joint Systems: Classic Cover Systems; type HFxE.
5. Wall-to-Wall Joint Systems: Model EX-K for flat and Model EX-L for corner.
6. Wall-to-Ceiling Joint Systems: Flexible Wall and Ceiling Series VSWL and VSGL.
7. Ceiling-to-Ceiling Joint Systems: Flexible Wall and Ceiling Series VSG.

2.3 EXPANSION JOINT COVER ASSEMBLIES

- A. Expansion Joint Cover Assemblies - General: Factory-fabricated and assembled; designed to completely fill joint openings, sealed to prevent passage of air, dust, water, smoke; suitable for traffic expected.
 1. Joint Dimensions and Configurations: As indicated on drawings.
 2. Joint Cover Sizes: Selected to suit joint width and configuration, based on manufacturer's published recommendations and limitations.
 3. Lengths: Provide covers in full lengths required; avoid splicing wherever possible.
 4. Anchors, Fasteners, and Fittings: Provided by cover manufacturer.
- B. Fire-Resistance Rating: Provide expansion control system and fire-barrier assembly with a rating not less than that of adjacent construction.

2.4 MATERIALS

- A. Extruded Aluminum: ASTM B221 (ASTM B221M), 6063 alloy, T6 temper; or ASTM B308/B308M, 6061 alloy, T6 temper.
 1. Exposed Finish Outdoors: Natural anodized.
 2. Exposed Finish at Floors: Mill finish or natural anodized.
 3. Exposed Finish at Walls and Ceilings: Natural anodized.
- B. Resilient Seals:
 1. Compression Seals: ASTM D2000; preformed rectangular elastomeric extrusions having internal baffle system and designed to function under compression.
 2. For Ceilings: Any resilient material, flush, pleated, or hollow gasket.
 3. Color: To be selected from manufacturers full line.
- C. Anchors and Fasteners: As recommended by cover manufacturer.
- D. Ferrous Metal Anchors: Galvanized where embedded in concrete or in contact with cementitious materials.
- E. Resilient Filler: Neoprene, exhibiting Shore A hardness of 40 to 50 Durometer.
- F. Backing Paint for Aluminum Components in Contact with Cementitious Materials: Asphaltic type.
- G. Elastomeric Concrete: Modified epoxy or polyurethane extended into a prepackaged aggregate blend, specifically designed for bonding to concrete substrates.
- H. Fire Barriers: Any material or material combination, when fire tested after cycling, designated to resist the passage of flame and hot gases through a movement joint and to meet performance criteria for required fire-resistance rating.
- I. Nonmetallic, Shrinkage-Resistant Grout: ASTM C 1107/C 1107M, factory-packaged, nonmetallic aggregate grout, noncorrosive, nonstaining, mixed with water to consistency suitable for application and a 30-minute working time.

- J. Accessories: Manufacturer's standard anchors, clips, fasteners, set screws, spacers, and other accessories compatible with material in contact, as indicated or required for complete installations.

2.5 FABRICATION

- A. Joint Covers: Aluminum cover plate, aluminum frame construction, retainers with resilient elastomeric filler strip, designed to permit plus or minus 50 percent joint movement with full recovery, flush mounted.
- B. Back paint components in contact with cementitious materials.
- C. Shop assemble components and package with anchors and fittings.
- D. Provide joint components in single length wherever practical. Minimize site splicing.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify that joint preparation and dimensions are acceptable and in accordance with manufacturer's requirements.

3.2 PREPARATION

- A. Provide anchoring devices for installation and embedding under Section 03 10 00.
 - 1. Provide templates and rough-in measurements.

3.3 INSTALLATION

- A. Install components and accessories in accordance with manufacturer's instructions.
- B. Align work plumb and level.
- C. Rigidly anchor to substrate to prevent misalignment.
- D. Fire-Resistance-Rated Assemblies: Coordinate installation of expansion control system materials and associated work so complete assemblies comply with assembly performance requirements.
 - 1. Fire Barriers: Install fire barriers to provide continuous, uninterrupted fire resistance throughout length of joint, including transitions and field splices.

3.4 PROTECTION

- A. Do not permit traffic over unprotected floor joint surfaces.

END OF SECTION

Project Name: Warwick Health Sciences Academy - Renovations
 Project Location: Newport News, VA
 QUESTIONS for IFB #030-0-2022GS

RFI #	Drawing or Specification Number	Question	Answer
003	071616	Please provide all existing location(s) where the concrete that is receiving the crystalline waterproofing will require crack repairs per section 071616 3.2 E in the specifications.	Crystalline Waterproofing is required at interior of new elevator pit only.
004	083100	Please provide the location(s) all the required access doors and panels as required per section 083100 as the contractor does not have the mechanical drawings.	No Mechanical is in job. All Ceilings are lay-in, ceiling access panels not required .
005	084113	Please verify that the NACC certification for the aluminum-framed entrances and storefronts can be waived as there are only two contractors in the state of Virginia that are qualified and they both will require hotels/meals for their employees, driving up the cost.	Requirement can be waived.
006	084113	Please note that a 20 year warranty for finishes of the aluminum-framed entrances and storefronts is not a standard warranty. Please verify that this will be required as this will add cost to the project.	Provide 20 year finish warranty as specified.
007	084113	Please verify that field testing will not be required for the aluminum-framed entrances and storefronts. If it is, please provide a list of field testing that will be required.	Testing not required.
008	093013	Please provide all locations that require a waterproof membrane as required per section 093013 3.2 B. Please also provide a specification for the waterproof membrane as one is not listed.	Membrane required at all wet walls in the bathrooms (wall against toilets and sinks) where tile is from floor to ceiling.
009	096519	Please verify that the contractor will not need to provide any floor prep, floor leveling or moisture mitigation for the new flooring. If this is required, please provide a specification, all required locations and thicknesses as required.	All floor prep and moisture mitigation is the responsibility of the contractor and is to be performed in accordance with flooring manufacturer recommendations for application and conditions present at time of installation.
010	096623	Please provide all locations for cracks that are over 1/16" width as the contractor will be required to saw cut and fill with epoxy. If this cannot be determined, please verify that the contractor will be required to carry an allowance of \$3500 for floor crack repairs.	Allowances are not permitted.
011	C400	Please provide a specification for the type of water lines that are to be used on sheet C400.	The 6" Fire Suppression Line will be Ductile Iron per Newport News Waterworks standards. The 4" line to the fire department connection can be PVC
012	A0.1	Please refer to egress note 1 on A0.1. Please verify that the existing hardware for the doors are currently tied into the fire alarm system to unlock when the fire alarm system is triggered. If not, please verify that the contractor will be required to supply/install new hardware along with new conduit to tie into the fire alarm. If so, please provide the location of the fire alarm box.	No doors interact with the FACP. All exterior doors and the interior between the Senior Center & PEEP have door contact switches and report to the security control panel. There are no other interior doors, etc., with door contact switches at Gatewood.
013	A0.1	Please verify that the owner will not need to access the 2nd floor area during construction as there does not appear away that the owner can access the 2nd floor without going through the construction site. If the owner requires access to the 2nd floor, please provide the location of access for the owner along with the location(s) of any temporary walls for protection.	Confirmed. Building will remain empty for the duration of construction (Through December 2022). Owner will not require access to the second floor.
014	A1.1	Please provide the location(s) of where the existing wall penetrates the slab per note D2 on A1.1 so the contractor can include the proper removal and patching required. If this cannot be determined, please verify that the contractor is to include a \$1,000 allowance for removal/patching that cannot be determined for note 2 on A1.1.	Allowances are not permitted.
015	A1.1	Please provide the size of the existing glazing/infill panels that are to be removed per note D8 on A1.1.	These are half lite doors. Refer to "HG" door types on Sheet A3.1 for typical measurements
016	A1.2	Please provide the wall type at the staff clinic A128 as this appears to be a drywall wall.	Wall shall be considered "A1" to match existing. Walls behind casework in Room A128 shall be considered "X1"
017	A3.1	Please provide the location(s) of hardware set 813 as required per the door hardware schedule on A3.1.	813 has been removed.
018	A4.0	Please provide a specification for the expansion joints at the elevators per details K12 and K15 on A4.0.	See attached section 079513 - Expansion Joint Cover Assemblies.
019	121013	Please note that acorn signs is no longer in business. Please provide a new manufacturer for the murals as required per section 121013 2.1 B 2.	use other specified manufacturer or submit an approved equal for review.
020	A3.1	Please note that there are some doors that have frames scheduled on A3.1 that are existing to remain. An example of these door is door 124C. Per the demolition schedule, there are no doors to be removed at these locations. Please verify that the door schedule is correct.	Door 124C requires a new frame "HM-3". Door Schedule has been reviewed and corrected.
021	A3.1	Please verify the scope of alternate #3. Per the revised alternate, the contractor is to retain existing hollow metal doors and hardware and replace all glass with new undivided tempered half glass. Per the addendum, the two doors that refer to alternate #3 are doors 124A and 124B and are new storefront doors. Please note that door 124B is new door that is to be installed inside a window for the new ramp. If the contractor retains this door per the schedule, the ramp will no longer be required as it would lead to the window.	Additive Bid #3 has been updated to reflect correct doors. Doors 124A & B are part of a new aluminum storefront system. Contractor shall install new storefront system with 2 sets of pair doors or alternatively keep existing frame, remove obstructions in opening (glass / solid panel) and install new HM doors (124B) to match existing (124A). Ramp is required for either option as they lead to doors.
022	A3.1	Please verify that the NACC certification for the aluminum-framed entrances and storefronts can be waived as there are only two contractors in the state of Virginia that are qualified and they both will require hotels/meals for their employees, driving up the cost.	Refer to response above
001	123553	Please verify that providing lab casework that is fabricated from veneer core plywood with a plastic cabinet liner is acceptable. If not, please provide the "flammable liquid" build requirements for cabinets. This will significantly reduce the cost for this project if the contractor will be able to build with veneer core plywood with a plastic cabinet liner.	No cabinets for flammable liquid are required. Requirement for flammable liquid cabinet has been removed from project. Cabinets must be all wood, inside and out per specification.
002	123553	Please verify that the AWI certification may be waived as this limits the subcontractor response causing a rise in price. Please note that the contractor may build to the AWI standards, but if the AWI certification is required, it will disqualify many subcontractors.	AWI Certification is not required for this project.

REVISED ATTACHMENT A - BID RESPONSE FORM FOR IFB #030-0-2022GS

In compliance with solicitation dated June 10, 2022, the undersigned proposes to furnish all labor equipment and materials and perform all work in strict accordance with all requirements for:

Warwick Health Sciences Academy - Renovations

The above scope of work to be performed at the dollar amount(s) stated herein.

The undersigned agrees and assures that:

- . All prices stated herein shall be firm for a period of _____ calendar days.
(90 days minimum)
- . If bidder's response is accepted and a purchase order issued, bidder will accept same and fulfill requirements in strict compliance with all terms and conditions.
- . If in acceptance of bidder's response, bidder is required to furnish a payment bond and a performance bond; and/or a certificate of insurance, bidder will execute and furnish same within five (5) calendar days of such notice, and that failure to do so will mean forfeiture of any surety bidder may have been required to post as part of bidder's response.
- . Bidder's business is organized as a stock or nonstock corporation, limited liability company, business trust, or limited partnership or registered as a registered limited liability partnership and is authorized to transact business in the Commonwealth as a domestic or foreign business entity if so required by Title 13.1 or Title 50 of the code of Virginia, as amended, or as otherwise required by law.
- . If a Contractor, Bidder is registered with the Commonwealth of Virginia as a
Class _____; Registration No. _____;
- . Bidder meets all licensing and permit requirements to conduct business in the City of Newport News, Virginia

IFB Project No. 030-0-2022GS

Submitted By:

Company Name _____

Street Address _____

City/State/Zip _____

Phone _____ FAX _____

Date: _____ Federal ID # _____

SCC Registration # _____ DUNS # _____

The BIDDER, in compliance with the Invitation For Bids (IFB 030-0-2022GS) for the Warwick Health Sciences Academy - Renovations and having carefully examined the Conditions of the Contract, Specifications, Drawings, and Addenda numbers (s), (Bidder to insert Addenda number(s); if none, so state) and having carefully examined the site and all conditions affecting the Work, HEREBY PROPOSE to furnish all labor, materials and equipment, and to complete the project in accordance with the Contract Documents, within the time set forth therein, and for the Bid price stated herein. Said price shall cover all expenses incurred in performing the work required by the Contract Documents, of which this proposal is a part.

All labor equipment necessary for the Warwick Health Sciences Academy - Renovations:

A. LUMP SUM BASE BID FOR THE WARWICK HEALTH SCIENCES ACADEMY - RENOVATIONS

LUMP SUM BASE BID AMOUNT

_____ DOLLARS

(Written)

(\$ _____ USD)

(Figure)

**B. ADDITIVE BID ITEMS FOR THE WARWICK HEALTH SCIENCES
ACADEMY – RENOVATIONS**

ADDITIVE BID NO.1: CEILING DEMOLITION:

- 1. Base Bid: Include demolition of all elements related to ceiling as indicated on the drawings.**
- 2. Additive Bid: Do not include demolition of elements related to ceiling indicated on the drawings.**

ADDITIVE BID ITEM #1 AMOUNT

_____ **DOLLARS**
(Written)

(\$ _____ USD)
(Figure)

ADDITIVE BID NO.2: INTERIOR OPENINGS:

- 1. Base Bid: Where indicated as aluminum storefront for new interior openings, provide aluminum storefront as specified in Section 08 41 13 – Aluminum-Framed Entrances and Storefronts.**
- 2. Additive Bid: In lieu of aluminum storefront for new interior openings specified in Section 08 41 13 – Aluminum-Framed Entrances and Storefronts, provide hollow metal frames specified in Section 08 11 13 – Hollow Metal Doors and Frames.**

ADDITIVE BID ITEM #2 AMOUNT

_____ **DOLLARS**
(Written)

(\$ _____ USD)
(Figure)

ADDITIVE BID NO.3: EXISTING CLASSROOM DOORS:

- 1. Base Bid: Replace existing classroom doors, hardware, and glass as indicated on the drawings and in the specifications.**
- 2. Additive Bid: Retain existing classroom doors and hardware and replace all glass with new undivided tempered half glass, remove existing paint and repaint door and frame.**

ADDITIVE BID ITEM #3 AMOUNT

_____ **DOLLARS**
(Written)

(\$ _____ USD)
(Figure)

C. Discrepancies between the indicated sum of any column of figures and the correct sum thereof will be resolved in the favor of the correct sum. Discrepancies between words and figures will be resolved in favor of words. When the project bids are received and opened, the Award shall be made to a responsive and responsible Bidder(s) based on the **LUMPSUM BASE BID AMOUNT**, plus as many **ADDITIVE BID ITEMS** taken in sequence as the Owner in its discretion decides to award.

Warwick Health Sciences
Academy - Renovations
Newport News Public Schools

The undersigned agrees that if awarded a Contract, bidder will commence work within 10 calendar days after the date of notice to proceed letter, and that bidder will complete all work, as specified (to include codes inspection and Owner acceptance), by J a n u a r y 3 0 , 2 0 2 2 acknowledging the Owner's right per Section IV L., of the Contract Documents, to assess Liquidated Damages of One Thousand Dollars, \$1,000.00 USD per day.

(For individual trading
in his individual name)

(Print)

(Signature)

(For use by an individual
trading under trade name)

(Print)

(Signature)

Trading as

(Print)

(Signature)

(For use by partnership)

(Partnership Name Printed)

(Partner/Signature)

(For use by a corporation)

(Corporate Name Printed)

By

(Corporate Officer Signature)

(Name Printed)

Indicate Official Position

Attest: _____
Corporate Secretary

(Name Printed)

Warwick Health Sciences
Academy - Renovations
Newport News Public Schools

CERTIFICATION REGARDING DEBARMENT

This is to certify that this person/firm/corporation is not now debarred by the Federal Government or by the Commonwealth of Virginia or by any other state, or by any town, city, or county, from submitting Bids on contracts for construction covered by this solicitation, nor are they an agent of any person or entity that is now so debarred.

Name of Official

Title

Firm or Corporation

Date